

DIOCESAN ADVISORY COMMITTEE

SCHEDULE OF DOCUMENTS

1. (210901B - repairs phase I - plus sundial addendum.pdf)
2. **Sundial in 1994** (sundial 1994.jpg.jpg)
3. **Sundial before start of 2023 work** (IMG_6839a (Medium).jpg)
4. (IMG_0741 (Medium).jpg)
5. (IMG_0740 (Medium).jpg)

TO THE CHANCELLOR OF
THE DIOCESE OF ST ALBANS

03/11/2021

VIEWED by the St Albans Diocesan
Advisory Committee

SPECIFICATION
FOR
GENERAL MASONRY and RENDER REPAIRS
to

ST. MARY'S CHURCH

HARLINGTON
BEDFORDSHIRE



Michael Dales Partnership Limited
95, Sharpenhoe Road,
Streatley,
LUTON,
Bedfordshire LU3 3PS

SPECIFICATION
for
GENERAL MASONRY REPAIRS (PHASE 1)

**ST. MARY'S CHURCH
HARLINGTON
BEDFORDSHIRE**

31ST AUGUST 2021

1.00 PRELIMINARIES

1.1 The Employer is:

HARLINGTON PCC,
c/o The Revd Canon N L Washington
3, Avenue Mews
Flitwick,
Bedfordshire
MK45 1BF

1.02 The Architect is the Michael Dales Partnership Limited
95 Sharpenhoe Road, Streatley, Luton, Bedfordshire.
Telephone Number (01582) 881210.

1.03 The works will be inspected by and are to be carried out to the satisfaction of the Architect.

The works to be carried out are shown and described in this specification.

Works comprise masonry repairs to the west end of the south aisle and the south porch together with ancillary works.

The Contractor will be required to ensure that all activities related to this building contract are strictly confined within the boundaries of the site and the area identified within the site.

Externally the Contractor is to make a compound to protect the public from the works and the works from the public as described later in this specification.

The church will remain in use during the works.

The Contractor shall ensure that the security of the works is maintained at all times for the duration of the works.

The Contractor shall allow in his tender for any inconvenience, uneconomic working. The Contractor should allow for shorter working days in relation to hot work and to setting times in relation to lime mortar and lime-wash.

1.04 The form of Contract under which the works are to be executed will be the JCT Minor Works Building Contract 2016.

Tenders are to remain open for acceptance for a period of not less than 90 days from the date fixed for the submission of tenders.

1.05 The following are the Clause numbers and headings of the Conditions of the Contract and the Contractor is to allow in his Tender for observing the full text of each Condition.

4th Recital & Schedule 2	Tender date shall be base date
4th Recital & Clause 4.2	Employer is not a contractor
5th Recital	<p>CDM regulations – the project is not notifiable. The Michael Dales Partnership will be appointed as Principal Designer for the works.</p> <p>The successful contractor will be appointed Principal Contractor for the construction phase of the works and shall be responsible for discharging all duties in respect of same.</p>
6th Recital	Framework Agreement is not applicable.
7th Recital & Schedule 3	<p>Collaborative working applies.</p> <p>Health and safety shall apply.</p> <p>Cost savings and value improvement shall apply.</p> <p>Sustainable development and environmental considerations shall apply.</p> <p>Performance indicators shall not apply.</p> <p>Notification of disputes applies. Employer and Contractor to complete to show their respective nominees</p>
Article 7	Article 7 and Schedule 1 shall apply.
Clause 1.1	CDM planning period shall commence 14 days prior to work commencing.
Clause 2.2	Will be completed to indicate that the works will be commenced and shall be completed by the dates shown on the Form of Tender.
Clause 2.8	Will be completed to show the sum of £300.00 per week.
Clause 2.10	Will be completed to show a rectification period of 12 months.
Clause 4.3	Will be completed to show 95%.
Clause 4.4	Will be completed to show 97.5%.
Clause 4.8.1	Shall be completed to show 3 months.
Clause 4.11 & Schedule 2	Shall be deleted (Fluctuations Option does not apply) Percentage addition shall be completed to show Nil.

Clause 5.3.2	Shall be completed to show that the contractor shall indemnify the Employer in the sum of not less than £5,000,000.00.
Clause 5.4A	Shall be deleted
Clause 5.4B	Shall apply
Clause 5.4C	Shall be deleted
Clause 5.4A.1 & 5.4B.1.2	Shall be completed to show 15%
Clause 7.2	Adjudicator or arbitrator shall be appointed by RIBA

The date of practical completion will be the date certified under clause 2.9

The Employer, Contractor and any Sub-Contractor shall produce evidence to the Architect to show that the insurances referred to in the contract have been taken out and are in force at all material times.

All existing structures, contents, also the works and unfixed materials and goods (except Contractor's sheds, plant, tools and equipment) shall be at the sole risk of the Employer as to the loss or damage by the perils listed in the Contract. The Employer shall maintain insurance against those risks, including any necessary demolition and removal of any debris, for the full reinstatement value concerned plus 15% for fees.

The Contractor must indemnify the Employer against all liabilities, loss, claim, expense or proceedings whatsoever, in respect of damage to the Church arising out of the negligent use of blow lamps, lead burning torches, welding equipment and any other apparatus. The Contractor must also cause any sub-Contractor to maintain insurance against all liability of the aforesaid risks.

1.06 In addition to the above the following precautions are also to be put into force:

- a) **Where any temporary or free-standing external tower scaffolding or platforms are used it is essential that they are dismantled at the end of each working day.**
- b) **All lower level access ladders to permanent scaffolding are to be removed from the site or locked in the Church (if agreed with Employer) at the end of each working day.**
- c) **The lowest platform of any scaffolding must be a minimum of 4.5 metres above ground level.**
- d) **A secure compound a min of 4m high in corrugated iron sheet with a lockable access door is to be maintained around any works carried outside the existing building. See addendum for full scaffold requirements.**

1.07 Tendering Procedure: Competitive tenders will be invited based upon this Specification. When considering the tenders submitted the Employer will take into account the dates quoted for commencement and completion of the works in addition to the tender sum.

The Employer does not bind himself to accept the lowest or any Tender. No remuneration will be paid for the preparation of Tenders.

- 1.08 Programme. The contractor's suggested programme for the works is to be submitted with his tender and will be taken into account by the Employer when considering which tender to accept. The subsequently agreed programme will form part of the contract documents.

During the works, the programme shall be regularly marked up to show the actual progress of works for inspection by the Architect.

Similarly, within fourteen days after the signing of the Contract the Contractor shall submit to the Architect a priced copy of this Specification with each item priced to show the cost of the work described. This priced copy of the Specification will not be treated as a Bill of Quantities and will be used only for assessing the value of work in progress and the cost of any variations.

- 1.09 Do not scale from the drawings. All dimensions should be checked on site or with the Architect. Any significant discrepancies should be notified to the Architect.
- 1.10 The Contractor is required to present his Application for Payment in the following manner:

Spec Item	Detail	Cost in Priced Spec.	% complete	Valuation
-----------	--------	----------------------	------------	-----------

- 1.11 The Contractor will be required to provide proper on-site supervision of the Works throughout the whole period of the Contract by the employment of a Site Foreman, (or other suitable person). The Foreman shall not be removed from the site or replaced without the written consent of the Architect.

The Architect will make inspections of the work in progress. The Contractor is to notify the Architect if he is to be off-site.

- 1.12 The words "supply", "provide", or "provide and fix", in this Specification are to be taken to assume that the Contractor will include all the labour and materials required to complete the operation described.

The work "approved" is to be taken to mean approved by the Architect.

- 1.13 The Contractor is to provide everything necessary in the way of materials, tools, plant and labour for the proper and complete execution of the Works involved in the Contract according to the **intent and meaning of the drawings and this Specification providing that this can be reasonably inferred from either.**

The absence of a description of work or materials or fittings or an Estimated Cost in the priced copy of this Specification submitted by the Contractor in compliance with Clause 1.08 shall not vitiate the requirements of this Clause.

- 1.14 The quality of materials and products to be used for the works shall not be less than described in the appropriate British or European Standard Specification.

Where work is shown or described to be in accordance with a Code of Practice the Contractor shall ensure that the recommendations of the Code of Practice are complied with in all respects.

Workmanship shall in all cases be in accordance with the best methods recognised throughout the trade.

No contractor or sub-contractor shall sublet work of a specialist or qualification led nature without the consent of the architect.

- 1.15 Materials and work likely to deteriorate if left exposed must be kept undercover and/or protected.

Similarly, the Contractor shall protect completed works to prevent damage by following trades.

- 1.16 The Contractor shall accept delivery of all materials to the site and shall ensure that they are of the quality and quantity specified, in proper condition at the time of delivery and properly stored until fixed.
- 1.17 Where appropriate, the Contractor shall be responsible for serving the Notices on the Local Authority when work on site is commenced and at the appropriate times as the Works proceed and upon completion. Where appropriate the Contractor will be required to obtain a Notice of Satisfactory Completion of the Works from the Local Authority. Where appropriate the Contractor shall also be responsible for the service of any other Statutory Notices required as a result of him carrying out the Works. The Contractor shall pay all charges due in respect of same.
- 1.18 The Contractor may make use of the Employer's power and water supplies.
- 1.19 The Contractor shall attend upon, cut away for and make good after all trades and domestic and Nominated Sub-Contractors.
- 1.20 The Contractor is to provide such site office and storage accommodation as may deem necessary. The contractor may make use of the church toilet facilities for the use by the site staff and operatives on condition that the contractor maintains the toilets in a clean and respectable condition at all times during the works.
- 1.21 Upon completion of the Works the Contractor shall leave the whole of the Works clean and in proper condition. The Contractor shall clear away all temporary buildings and re-instate any area of the site affected by same.
- 1.22 The Contractor shall be responsible for checking any dimensions on the site and shall advise the Architect of any discrepancies found.
- 1.23 **Include the sum of £4,000.00 of the cost of the works for Contingencies to be used in whole or in part as directed by the Architect. The whole or any part of the Contingency sum not so used shall be deducted at the settlement of the Accounts.**

1.24 HEALTH AND SAFETY

The Contractor shall ensure that he, his employees, sub-contractors and visitors to the site at all times observe the relative standards and codes of practice for health and safety where building work is carried out.

In particular where work is carried out on scaffolding at high level industrial safety helmets to BS5240 are to be worn, masks are worn where dust is being created and ear defenders where noise is generated.

All visitors to the site are to be provided with safety helmets should they require them.

1.25 The Contractor shall allow for observing the full implications of the Employers health and safety policy together with current requirements for CDM Regulations. The Contractor shall note that all CDM documentation must be completed before the issue of a Final Certificate.

1.26 FIRE PRECAUTIONS

Take all necessary precaution to prevent nuisance to public on and off site from smoke, dust, rubbish and other causes.

The contractors shall provide and maintain on site appropriate fire extinguishers for the duration of the works.

1.27 The Contractor is to take all reasonable measures to prevent loss or damage by fire. All workmen should be shown the location of fire extinguishers and are to carry mobile phones in the event of an emergency. Where work involving the use of blow-lamps, lead burning torches or any other flame producing apparatus it should be carried out under close supervision. 2 No. 2 gallon water type extinguishers should be kept in close proximity to the apparatus. **All parts of the Church fabric where a hot work process has been carried out, must be inspected, two or three hours after work has ceased for the day. The Contractor should make due allowance within his tender for shortened working days where this applies.**

1.28 **Smoking is prohibited on the site.**

1.29 The playing of radios during the working day will not be permitted except with the express permission of the Employer's representative. The Contractor, his sub-Contractors and operatives should bear in mind the purpose of the building and behave in an appropriately at all times.

1.30 Any electrical contractor shall have **N.I.C.E.I.C Approved Contractor Status**. Any temporary electrical wiring should comply with N.I.C.E.I.C. Regulations and should be disconnected at the end of each working day. All waste material should be removed from the site at the earliest opportunity. Where any fittings are specified and they arrive in packaging the packaging should be removed outside the Church and disposed of. No bonfires or disposal of packaging or waste material should be carried out on site.

1.31 The storage of inflammable materials shall be outside the Church and well away from the building.

INSURANCE:

Depending upon the type and extent of the 'hot work' it may be prudent to notify Insurers of the work and seek their approval of safety precautions put in place.

PROTECTION

Every effort is to be made to prevent damage to existing building fabric, fences, walls, gates, paving, trees and shrubs and other features which are to remain in position during the execution of the works.

The Contractor shall provide and fix all and any necessary temporary casings, boards, sheets etc. to ensure this.

The Contractor, sub-Contractors and all operatives must bear in mind that the Church will remain in use during the works and that the programme of works must be agreed with the church administrator who will acquaint the Foreman with any need to stop work during a service or burial.

The Contractor shall make due allowance within his tender for the inconvenience caused by stoppages in work to accommodate services etc.

1.32 AUTHORITY

All works will have been approved by the Diocesan Advisory Board and have received a Faculty prior to work commencing on site. Where special or urgent circumstances occur, the contractor shall advise the architect who will enquire whether a licence may be required to proceed.

Where day work is carried out, each time-sheet and invoice is to be signed by the Foreman as correct and is to refer to the Architect's Instruction for the work. Day works only to be carried out with authority of architect.

Completed day-work sheets will only be considered for acceptance if submitted with ten working days.

All additional works or variations shall be valued at rates comparable with those used in the tender process.

Where work is to be carried out and is to be concealed a minimum of 24 hours' notice is to be given to the Architect in order that an opportunity for an inspection may occur.

1.33 THE WILDLIFE AND COUNTRYSIDE ACT 1981 AND CONSERVATION (NATURAL HABITATS ETC) REGULATIONS 1994

This Act gives very full protection to bats because of their special requirements for roosting. It is illegal not only to intentionally kill, injure or handle any bat, but also intentionally damage or destroy or obstruct access to any place that a bat uses for shelter or to disturb a bat whilst it is occupying such a place. In this context "damage" means make worse for a bat and so includes such operations as chemical treatment of timbers. The Act provides defences so that building, maintenance or remedial operations can be carried out in places used by bats.

It is important that all contractors and subcontractors under this specification and contract notify the Bats Conservation Trust. Their Contact details are 0845 1300 228 email enquiries@bats.org.uk so they can decide if the building is inhabited by bats. Failure to comply with this Act could render the Contractor liable for heavy fines.

No work is to proceed without written confirmation from the Architect.

NOTE: No organochlorine woodworm killers are to be used where bats are in evidence. Synthetic pyrethroid insecticides such as permethrin and cypermethrin can be permitted if used by an approved timber treatment.

1.34 GENERAL PROCEDURES

Where materials and work are not fully specified they are to be carried out using materials fit for the purpose, in line with current standards and where ever possible match existing materials in type, texture, colour, size and quality and overall appearance.

1.35 Tenders are to remain open for acceptance for a period of not less than 90 days from the date fixed for the submission of tenders.

2.00 **TRADE PRELIMINARIES AND PREAMBLES**

2.1.0 EXCAVATOR AND CONCRETOR - None proposed.

2.2.0 DRAINLAYER - None proposed.

2.3.0 BRICKLAYER – None proposed

2.4. STONEMASONRY: -

2.4.1 Mortar and Render mixes

The mortar for all masonry shall generally be assumed to be 3 parts sand, to one part NHL 3.5. lime with water. The mix should be left for a day to mature before use.

No mortar should be mixed or used when the temperature is below 4 degrees. Pointing shall only be carried out on a rising temperature. All new work is to be adequately protected from damage by frost up to practical completion.

The lime and putty can be obtained ready for use from:

- 1) Rose of Jericho Ltd., 01935 83903
- 2) St. Astier 0800 783 9014
- 3) The Traditional lime Co. 01242 525444
- 4) Hirst Conservation Materials Ltd, Laughton, Sleaford, Lincs, NG34 0HE. Tel: 01529 7517.
- 5) Singleton Birch, Melton Ross Quarries, Barnetby, Nth Lincs Tel: 01935 815290

Or any other good quality source approved by the architect.

The sand shall be clean sharp pit sand. Type and source to be agreed with the Architect before full work commences. On no account should soft builder's sand be used. Agree with the Architect the exact mix before work starts.

The sand should be from a local source where possible.

2.4.2 RE-POINTING –

Where repointing is required, the joints to the masonry are to be carefully raked out using hand tools only to a depth of approximately 50mm. No mechanical tools may be used unless permission is given by the architect to a specific operative.

2.4.3 GROUTING – none proposed

2.4.4 RENDER – To be applied in three stages. 1: deep voids filled 2: 20mm scratch coat, 3: finish coat with wood float and sponge to reveal aggregate. Assume mix to be 3:1 in diminishing coats. Details to be agreed on site.

2.4.5 STONEMASONRY:

All conservation work shall be in accordance with the guidance of English Heritage Technical Guidance

Bed to be approved by Architect, but generally:

Horizontal in plain walling

At right angles to wall face in cornices and other projecting stones.

New stones shall be not less than 100mm in depth from the face of the wall.

Projecting stones to be cut out to at least twice the depth of their overhang.

The lines of all mouldings, curves and angles etc. are to be worked out of the solid as directed.

No angle, mitre joints will be permitted.

Detailed carving where required in new work, is to be done either on the ground or in position as directed by the stone carvers.

Old carved work is to be reincorporated where possible, and soundly and properly keyed and cramped into the new stone as appropriate.

Where new stone is being inserted the size of the new stone is to match the size and scale of the original. Several smaller stones are not to be substituted for an original large stone.

Where different types of stones are incorporated in the same area of the wall, stone replacement is to match the type and colour of that which is being removed. The exact requirements are to be agreed on site with the Architect.

All stonemasonry is to be carried out by a qualified stonemason experienced in the repair of historic buildings.

2.5.-2.12 not utilised

2.13.0 ELECTRICIAN – none proposed

Electricity is available on site for the contractor to use. The contractor shall make the necessary arrangements with the church administrator regarding access.

The contractor should satisfy himself as to the adequacy of any supply. The contractor shall provide for any cables lights, transformers etc. All temporary wiring shall comply with requirements of NICEIC. No interference with any existing installation shall be permitted. All circuits are to be disconnected at the end of each working day unless retained for security purposes only.

The contractor shall allow for observing the restraints and requirements of the church's rooftop security systems.

2.13.1 Any electrical installation is to be carried out by a specialist Sub-Contractor who has **NICEIC Approved Contractor status.**

2.13.2 The whole of any installation is to comply with N.I.C.E.I.C. recommendations, the requirements of the Council for the Care of Churches and is to be earthed to satisfy the requirements of the Electricity Board. No wiring of any sort is to be installed in the cavities of the external walls.

Where wiring is specified to be behind wall plaster it is to be protected with PVC conduit properly chased into brickwork or blockwork and fixed in position.

Where wiring is specified to be located in the thickness of structural timber work, the timber members are to be drilled along the line of the neutral axis to allow for the passage of wiring.

- 2.13.3 Upon completion the Contractor will be required to test the whole of any electrical installation, (including the earthing of same) and to provide certificates to show that the whole system is satisfactory.
- 2.13.4 Allow for paying any electrical costs due in respect of this Contract.
- 2.13.5 Where any work specified or existing work is not in accordance with electrical regulations or best practice, the Architect is to be notified before commencement.

2.14 - 2.16 not used

2.17.00 SCAFFOLDING

- 2.17.1 All scaffolding should be constructed as independent free-standing structures wherever possible and only tied to the building where approved by the Architect. All horizontals are to be plastic capped at ends to protect the building and personnel.

Putlocks are to be kept clear of the face of the building where possible and any scaffolding close to the building should be lagged to prevent damage to the stone work or other fabric.

The Contractor is to include for supplying a fixed metal or 18mm plywood hoarding to a height of 4 metres the base of each scaffolding standing on the ground together with a vandal proof access gate. The ply must have close butted joints and be fixed to 75 x 100 timbers with 100 annular ring shank nails or tamper proof screws. The gate shall be of solid construction in a flush frame with a minimum of 3 steel hinges with pin burred over.

A Yale type latch shall be fitted to the gate and when the site is unattended the gate shall be secured with heavy duty bar secured to door and frame with bolts through. The locking bar must conceal the bolt heads. A heavy duty shackled padlock to at least BS EN 12320 security grade 4 shall be used.

The inside of the scaffold shall be flood lit angled in and up through the scaffold operated by photoelectric cell for illumination at night.

The scaffold should follow the contour of the ground and leave no gaps. The scaffold should be extended higher over plinths etc.

Where scaffolding is to be erected off a roof the Contractor is to check that the roof structure is adequate for the purpose of increased loading and is also to make adequate provision for the protection of the roof structure from mechanical damage and is to make good any damage caused at directly.

Scaffolders should take due notice of other directions within this specification relating to insurance, ladders, health and safety etc.

The scaffold will be protected by an alarm system installed in accordance with the NSI COP for the design and installation of scaffold alarms systems NCP 115

The system will include an audible alarm system linked to a permanently monitored call centre conforming to BS5979 or BS EN 50518. The alarm system is to be of a type approved by EIG the churches insurers.

The scaffold and enclosures must comply with the current recommendations of the **Ecclesiastical Insurance Group**.

2.18 PROTECTION

Provide temporary fences, hoardings, screens, planked foot ways, guard rails as may be necessary for protecting the public, users of the building, and statutory bodies and to enable the satisfactory completion of the works.

Provide all necessary temporary protection to all parts of the building from damage by inclement weather or the building works.

In order to avoid delays due to cold weather the Contractor is to take the following precautions:

- a) Protect stone from rain and frost by stacking clear of ground and completely covering with waterproof sheet.
- b) Store cement and lime in on raised dry platform.
- c) Do not use frozen materials
- d) Chemical accelerators, retardants or anti-freeze additives are not to be used.
- e) Keep finished work covered for at least three days after completion.

2.19 ORGAN PROTECTION –

The organ is located to the west end and protection is not required in this instance.

2.20 STAINED GLASS and LEADED LIGHTS – no work proposed

2.21 WATER AND ELECTRICITY

The Contractor may use the Employer's water and electricity subject to agreement on connections with Church Administrator and Architect.

2.23 CLEANING

Where any works have affected the interior of the church the contractor shall carry out a thorough clean of the area or areas affected to return them to a level of cleanliness comparable with the remainder of the building.

Where works have been carried out externally the contractor shall clean the area and reinstate any areas of hard or soft landscaping to a condition comparable with their original state.

3.00 SCHEDULE OF WORKS

3.1.00 GENERAL REQUIREMENTS

- 3.1.1 Provide and maintain a secure scaffold as previously described to enable the works to be assessed, executed and inspected safely.
- 3.1.2 Provide all necessary fixed and moveable ladders, kick boards, planks, guard rails, safety gates and flaps etc. to comply with safe working practice and COP.
- 3.1.3 Allow for removing from site all rubble and debris and for disposing of same in a legal way and paying all charges associated with same.
- 3.1.4 Allow for providing all site safety signage and secure enclosure of scaffolding together with such alarms etc as previously described.
- 3.1.5 Allow for providing and maintaining all necessary health and safety provision for workforce. The implications of any supplementary Covid precautions to be re-considered when the date of a site start is known.
- 3.1.6 Allow for cutting back any vegetation against the walls in the work zone and treating roots with a biocide.

3.2.00 STONEMASON

- 3.2.01 South aisle west end.





- 3.2.02 Allow for inspecting the condition of the render on all work areas with the architect before proceeding
- 3.2.03 Allow for removing all loose or poorly adhered render to the elevation, and the part-buttress on the adjacent tower face
- For tendering purposes assume all render will be removed. Actual amount of render replacement to be re-measured.
- 3.2.04 Where render is firmly attached and it's removal would damage the stone it should be left and the edges squared up with an undercut and left ready to receive the new render.
- 3.2.05 At low level, render retained should be trimmed to 200mm aboveground level.
- 3.2.06 Allow a provisional sum of £500.00 for stone work repairs to exposed walling.
- 3.2.07 Allow for raking back existing walling joints where exposed to a depth of 40mm to achieve a good key for new render.
- 3.2.08 Provide and apply three coat sand lime render as previously specified. The top-coat is to be finished with a wood float For the purpose of tendering assume all areas of to be re-rendered – except quoins and worked stone arches, window masonry, weathering stones etc.

The re-introduction of false or indented lines in plaster to imitate ashlar is not required

3.2.09 B3 and B4 and half buttresses to tower abutment and porch abutment.



3.2.10 Assume weathering stones are defective. Allow to supply and fix all new stepped weathering stones to buttresses in Stoke Ground Base Bed and for adjusting the existing 'masonry' accordingly.

All weathering stones or off-sets are to be the full width of the buttress without vertical joints and finish 5mm proud of new or retained render at the cheeks or where abutted on the underside of weathering.

All new weathering stones are to be on flat bed with minimum bearing of 250mm Where the

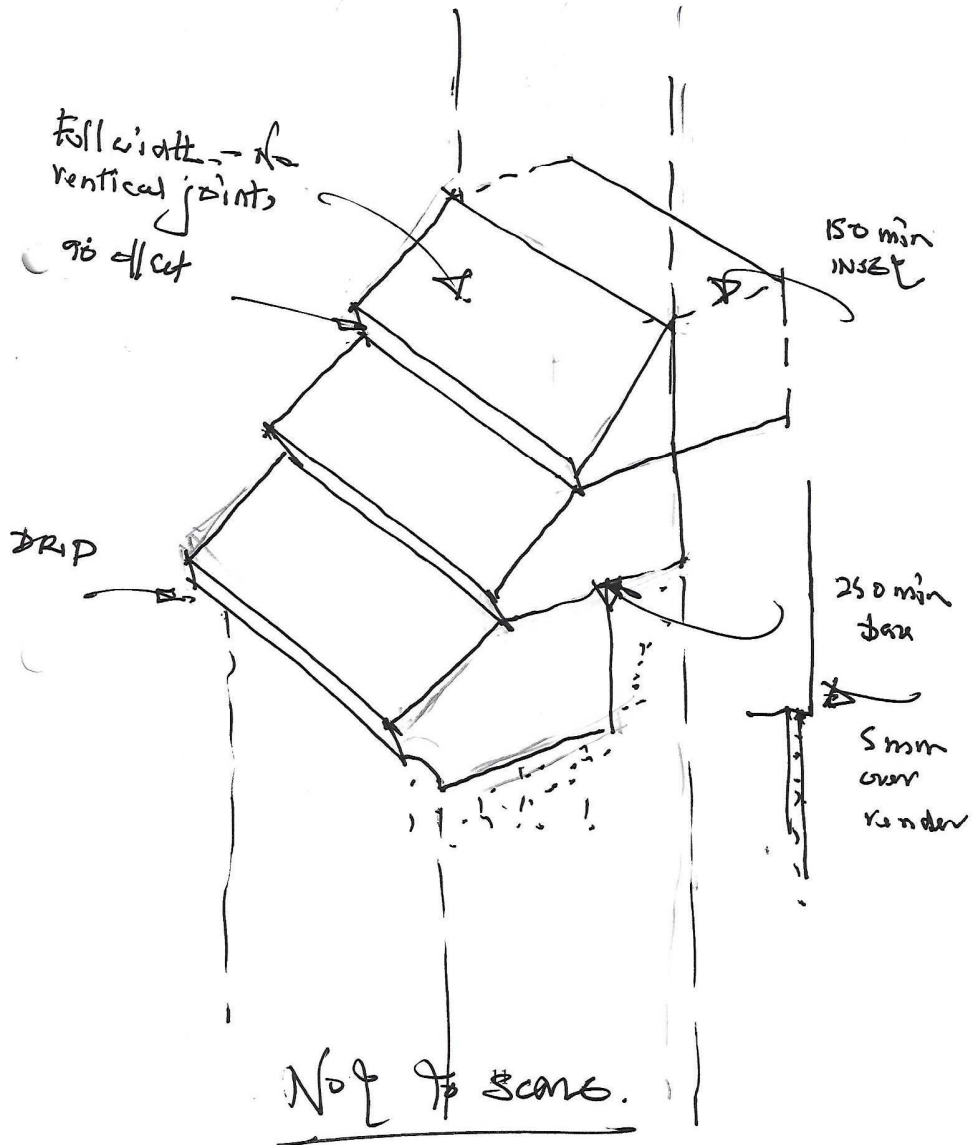
top weathering meets the vertical face it is to be let into the wall by a minimum of 150mm

All upper weathering stones to be finished with a min 35 mm edge square to the angle of the slope before reverting to a flat bed.

All lowest weathering stones are to be finished with 35mm edge square to the angle of the slope with drip formed by ovolo moulding.

All weathering stones to be of equal depth and angle within an off-set and consistent through the buttress where practical.

Typical Buttress Detail for
 RENDER PURPOSES.



Actual level of replacement to be re-assessed on site with architect before proceeding

with new.

3.2.11 South Aisle, west of porch.

Allow for carefully removing down pipe, cleaning, repainting with Black Hammerite and set aside for refixing.

Carefully cut out hollow or poorly adhered render, squaring up retained render with an undercut edge.

As with west end, allow for removing all render and re-rendering with three-coat sand-lime render as previously specified.

Actual amount of render to be removed to be re-evaluated on site and remeasured.

When replacing render form new bell drip with Stainless steel bead.

3.2.12 Refix rainwater goods using ss threaded rod set in resin.

3.2.13 South Porch.



Carefully remove all sections of loose, cracked or poorly adhered render from all three sides of the porch. Well adhered render whose removal would damage stonework should be left in place, squared up and left with an undercut edge.



For the purposes of tendering assume all render will be replaced with a new three-coat line sand render and finished at 150mm above ground level with a bell drip over a stainless-steel bead.

3.2.14 Carefully rake out and repoint existing copings and string course.

3.2.15 Allow a provisional sum of £750.00 for masonry repairs required prior to re-rendering.



3.2.16 Allow for supply and fixing stepped weathering stones to tops of buttresses and for adapting the existing masonry as appropriate as previously described.



3.2.17 Carefully remove iron gnomon from sun-dial and set aside for repair and painting.

Repairs /refixing to be agreed on site following inspection.



3.2.18 Remove concrete sundial and replace with new sundial carved in Stoke Ground base bed to match the concrete one. Assume slab to be 50mm thick. Secure new sun dial with ss resin dowels to porch parapet.

3.2.20 GW4 Porch east window.



3.2.21 Carefully remove mortar fillet between window masonry clean out the void for inspection with architect.

Allow for supply and fix of 6 no 400 long 12mm diam stainless steel threaded rods to be inserted externally around the window wall section to give added support to the outer leaf of masonry before the render is replaced externally. Exact positions to be agreed on site with architect. Rods to be set in resin.

3.2.22 Once the wall is stabilized allow for the deep fill of the void with a stiff lime mortar tamped gently and firmly in with a blunt stick or similar. Fill to be left 35mm back from the reveal.

Once packing has cured (say 6 months) repoint the remaining gap upto 3mm back from the reveal masonry. Finish with wood float and sponge to expose aggregate.

3.2.21 Porch arch:



3.2.22 Carefully remove the cracked render from the faces of the central and outer rings of the arch to facilitate an inspection of the masonry.



3.2.23 For the purpose of tendering, assume that the central and outer rings of masonry are to be replaced. Actual degree of replacement to be agreed once render removed and decay exposed.



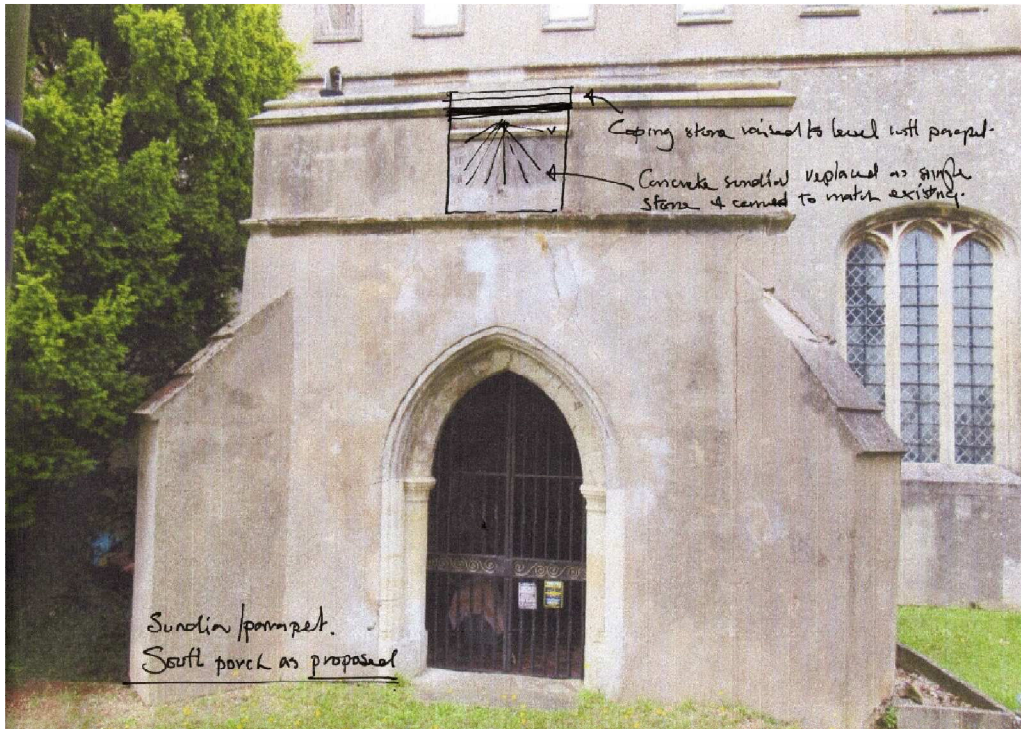
3.2.24 Allow for carefully drilling and pinning the pilaster uprights to the tower arch where they have separated from the main walling. Allow for four no. 12mm diam ss studs 400mm long set in resin. Locations to be agreed with architect on site.

3.2.25 clear away and leave site clean and tidy.

4.00 Addendum – reinstatement of complete sundial.



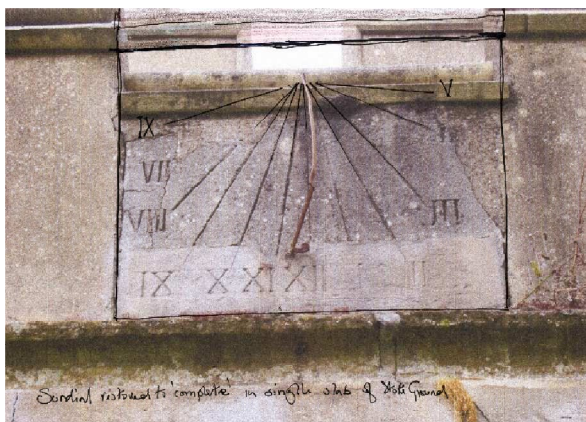
Sundial-parapet as existing (top quarter of sundial missing.)



Sundial – parapet as proposed

- 4.1 Carefully remove coping stone from over sundial and set aside.
- 4.2 Record the detail on the face of the concrete sundial and remove it.
- 4.3 Repair backing brickwork and raise up in sound well burnt stock bricks level with the walls on either side. Tie into side walls with ss mesh or ss brick ties.
- 4.4 Supply and fix new sundial as single slab of Stoke Ground base bed, 50mm thick and secure to new and existing brick backing with ss dowels and a backing bedding of lime mortar.

New sundial to match existing detail and to include the missing detail as shown in sketch and photograph.



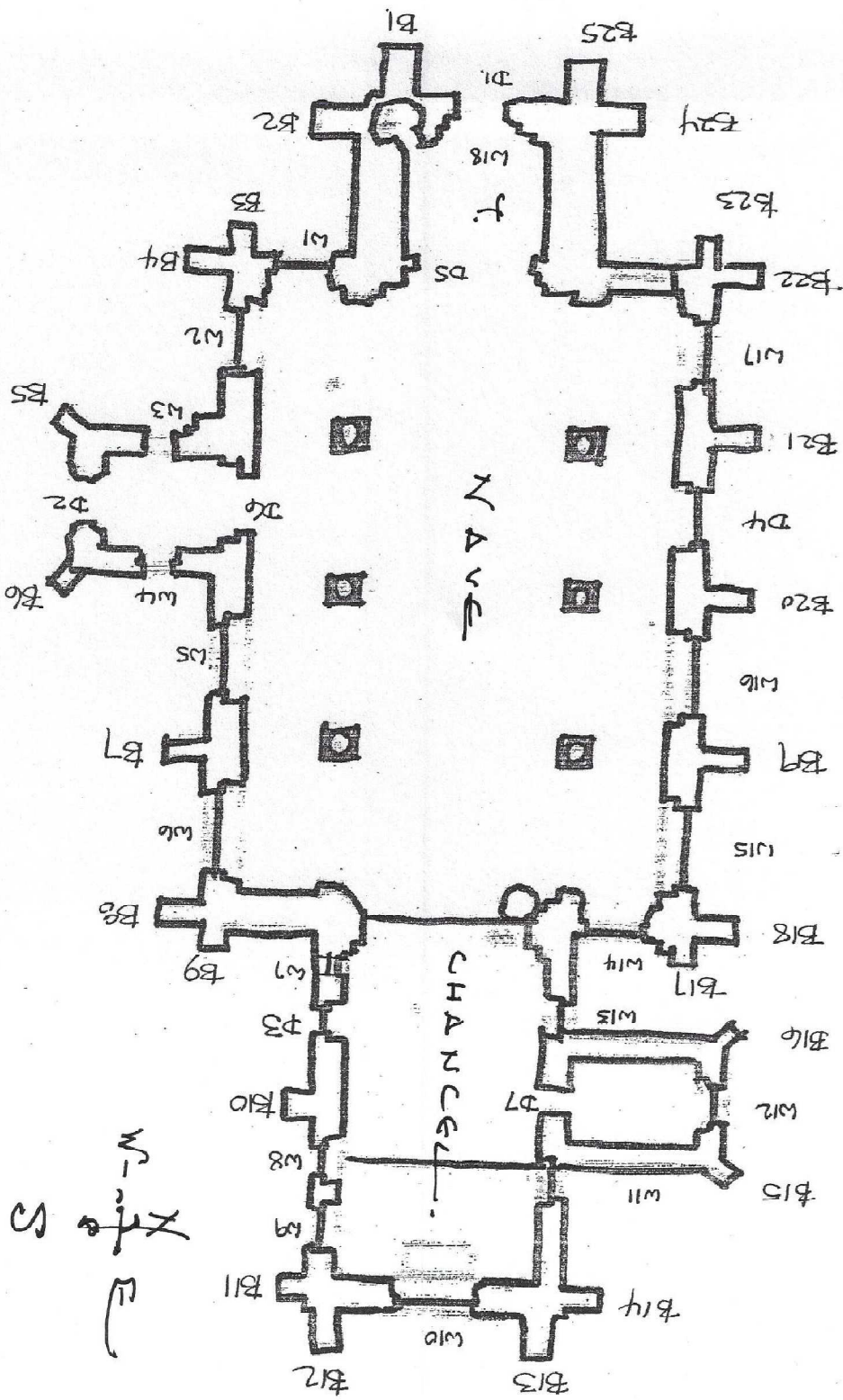
Sundial as proposed -



- and as it used to be 1994

- 4.5 Replace and seat existing coping stone to be level with coping stones on either side.

St. Marys Church - 1820s - 1840s - 1860s - 1880s - 1900s.







VII

VIII

III

IX

X

XI

XII

I

II



VII

VIII

IX

X

XI

XII

I

II

III

IV

